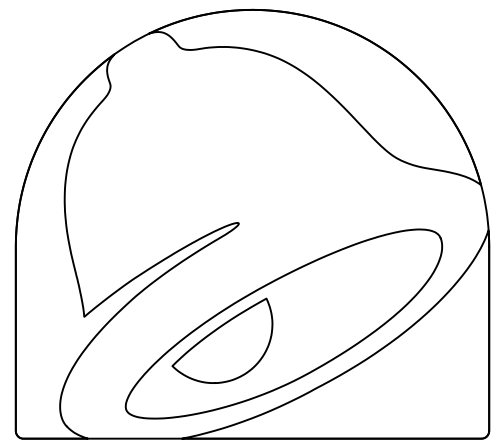


Taco Bell

ENDEAVOR Remodel

SUCCESSOR

STORE# 39978



TACO
BELL™

26045 POINT LOOKOUT RD. LEONARDTOWN, MD 20650

- A. ALL WORK SHALL CONFORM TO THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF ST. MARY'S COUNTY AND LEONARDTOWN, MD.
- B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- C. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- D. DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
- E. INFORMATION CONCERNING EXISTING BUILDING STRUCTURE, SIZE, LOCATION OF EQUIPMENT, FINISHES, ETC. WAS OBTAINED FROM VARIOUS PLANS FOR CONSTRUCTION OF THE EXISTING BUILDING. EVERY EFFORT HAS BEEN MADE TO ACCURATELY DEPICT EXISTING CONDITIONS, HOWEVER ALL WORK MUST BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR VERIFICATION AND/OR CORRECTION.
- F. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- G. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE OWNERS REMODEL DESIGN ARCHITECT, IN WRITING, PRIOR TO INSTALLATION.
- H. THE GENERAL CONTRACTOR SHALL USE EXTREME CAUTION IN DEMOLITION OF EXISTING CONSTRUCTION. ANY ITEM STRUCTURAL IN NATURE AND SCHEDULED FOR DEMOLITION IN THIS DRAWING BUT NOT IDENTIFIED AS STRUCTURAL IN NATURE SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO DEMOLITION. BY FAILURE TO DO SO, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH ACTION.
- I. G.C. IS RESPONSIBLE FOR SUBMITTAL, PAYING FEES AND OBTAINING ALL PERMITS ASSOCIATED WITH THE PROJECT INCLUDING GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. OWNER WILL PAY FOR CONNECTION FEES ASSOCIATED WITH UTILITY PERMITS. G.C. REQUIRED TO PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- J. G.C. SHALL PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- K. IT IS THE G.C.'S RESPONSIBILITY TO CONFIRM THE AVAILABLE 'RESIDUAL' WATER PRESSURE PRIOR TO THE START OF ANY WORK, AND NOTIFY THE OWNER IF THE AVAILABLE PRESSURE IS NOT ADEQUATE TO SERVICE THE ANSUL SYSTEM OR OTHER PRESSURE SENSITIVE EQUIPMENT. MINIMUM REQUIRED PRESSURE IS (TBD).
- L. THE GENERAL CONTRACTOR SHALL REMOVE EXISTING TRIM AND SURFACES AS REQUIRED TO PROVIDE A PLUMB AND TRUE SURFACE SUITABLE FOR THE APPLICATION OF NEW WALL FINISHES.
- M. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- N. THE CONTRACTOR SHALL SHORE AND/OR UNDERPIN EXISTING WORK AS REQUIRED TO SAFELY INSTALL NEW WORK. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL CHANGE OR AFFECT THE CONTRACTOR'S RESPONSIBILITY IN THIS MATTER. DEFLECTION OF EXISTING TO BE LIMITED TO 1/8" IN ORDER TO MAINTAIN INTEGRITY OF STRUCTURE.
- O. SCOPE OF WORK AND SPECIFICATIONS DOCUMENTS ARE INCLUDED AS CONTRACT DOCUMENTS FOR THIS PROJECT. IF THEY HAVE NOT BEEN PROVIDED TO YOU FOR THIS PROJECT PLEASE ASK OWNER OF THE OWNERS REPRESENTATIVE FOR A COPY OF THE APPLICABLE SECTIONS.
- P. GC SHALL PROVIDE WARRANTY DOCUMENTATION FOR ANY ROOFING MEMBRANE AND EIFS WORK PERFORMED ON PROJECT AT THE CONCLUSION OF THE PROJECT.
- Q. AT LEAST ONE RESTROOM MUST REMAIN OPERATIONAL AT ALL TIMES. THE USE OF PORTABLE TOILETS BY TACO BELL EMPLOYEES WILL NOT BE PERMITTED.

PROJECT GENERAL NOTES

NAME	ROOM NAME		ELEV. LETTER
	SHEET NUMBER		ELEV. SHEET
	ELEVATION NUMBER		DOOR NUMBER
	CEILING HEIGHT		WINDOW NUMBER / DECOR ITEM NUMBER
	BLDG. SECTION LETTER		EXTERIOR WALL FINISH NUMBER
	BLDG. SECTION SHEET		KEY NOTE
	DETAIL NUMBER		EQUIPMENT NUMBER
	DIRECTION OF DETAIL		ROOM FINISH NUMBER
	DETAIL SHEET		INTERIOR ELEVATION DESIGNATION
	REVISION NUMBER		SHEAR WALL TYPE (STRUCTURAL)
	BLDG. HEIGHT REFERENCE POINT		EQUIPMENT / FIXTURE NUMBER (M.E.P.)

REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR SPECIFIC SYMBOLS

GENERAL DRAWING SYMBOLS

NOT USED

DESCRIPTION OF PROJECT:
NEW FINISHES AND FURNITURE AT DINING ROOM AND NEW DRIVE THRU EQUIPMENT. UPDATE EXTERIOR IMAGE, SIGNAGE AND LIGHTING.

OCCUPANCY: A2
TYPE CONSTRUCTION: VB
BUILDING AREA: 3,269 S.F. SEATING: 58
LEGAL JURISDICTION: ST MARY'S COUNTY, MD
BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE (IBC), BUILDING CODE OF ST. MARY'S COUNTY, MARYLAND
PLUMBING CODE, MARYLAND MECHANICAL CODE, MARYLAND FIRE CODE, MARYLAND LIFE SAFETY CODE,
INTERNATIONAL CONSERVATION OF ENERGY CODE

PROJECT SUMMARY

OWNER ABTB MID-ATLANTIC LLC 245 AMITY ROAD, SUITE 200 WOODBIDGE, CT 06525 CONTACT: DAVID PANELLA PHONE: 860-424-6104	ARCHITECT MATTHEW F. CORTEZ, AIA 1525 E. DOUGLAS AVE. WICHITA, KS 67211 CONTACT: ROSA PADDOCK PHONE: 316-265-9367
MECH. / ELEC. ENGINEER DEVITA AND ASSOCIATES 1150 E. WASHINGTON ST GREENVILLE, SC 29601 CONTACT: MELISSA ANGULO PHONE: 864-527-0325	

PROJECT DIRECTORY

ALL MATERIALS AND METHODS SHALL COMPLY WITH EIMA STANDARDS, ASTM E 2568, ASTM E 2570 AND ICC-ES AC219.

EIFS SYSTEM SHALL COMPLY WITH ICC-ES REPORT ESR-1748.

THE EIFS SYSTEM SHALL BE A CLASS PB-DRAINABLE SYSTEM.

THE AIR/MOISTURE BARRIER SHALL BE LIQUID APPLIED PER MANUFACTURER'S STANDARDS.

WARRANTY: 7 YEARS.

DRAINAGE TRACKS SHALL BE USED AT THE BASE OF ALL WALLS AND FLASHINGS AS RECOMMENDED BY MANUFACTURER.

WALL IMPACT RESISTANCE SHALL BE AS FOLLOWS:
A. STANDARD IMPACT MESH (4.5 OZ/SQ. YD.) ABOVE 6'-0".
B. ULTRA-HIGH-IMPACT MESH (15 OZ/SQ. YD.) BELOW 6'-0".

EIFS SYSTEM SHALL BE EQUAL TO STO THERM CI ESSENCE/STO THERM NEXT ESSENCE WITH STO GUARD. SYSTEM COMPONENTS AS FOLLOWS:

- A. STARTER TRACK: RIGID PVC PLASTIC TRACK PART NO. STDE AS FURNISHED BY PLASTIC COMPONENTS, INC.
B. AIR/MOISTURE BARRIER: STO GUARD.
1. JOINT TREATMENT, ROUGH OPENING PROTECTION AND DETAIL COMPONENTS:
a. STO GOLD FILL.
b. STO GOLD COAT.
c. STO GUARD RAPID FILL.
d. STO GUARD RAPID SEAL.
2. WATERPROOF COATING: STO GOLD COAT.
3. TRANSITION MEMBRANE: STO GUARD TRANSITION MEMBRANE.
- C. ADHESIVE: STO-PRIMER/ADHESIVE-B.
D. CONTINUOUS INSULATION: STO EPS INSULATION BOARD.
E. BASE COAT: STO PRIMER/ADHESIVE-B.
F. REINFORCING MESH:
1. STANDARD MESH: STO MESH, 4.5 OZ/SQ. YD.
2. HIGH-IMPACT MESH: STO INTERMEDIATE MESH, 11.2 OZ/SQ. YD.
3. ULTRA-HIGH-IMPACT MESH: STO ARMOR MAT, 15.0 OZ/SQ. YD.
4. SPECIALTY MESHES: STO DETAIL MESH, 4.2 OZ/SQ. YD.
G. PRIMER: STO PRIMER SAND OR STO PRIMER SMOOTH AS RECOMMENDED BY EIFS MANUFACTURER.
H. FINISH COAT: STO ESSENCE DPR FINISH, ACRYLIC-BASED TEXTURED WALL FINISH.
I. TEXTURE AND COLOR: AS SELECTED BY OWNER FROM MANUFACTURER'S FULL RANGE OF TEXTURES AND MULTIPLE COLORS. SUBMIT FINISH TEXTURE AND COLOR SAMPLES TO OWNER FOR SELECTION. DO NOT BEGIN INSTALLATION UNTIL TEXTURE AND COLORS HAVE BEEN APPROVED BY OWNER.

INSTALL AIR/MOISTURE BARRIER AND EIFS SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND DETAILS.

INSTALLER MUST BE CERTIFIED IN WRITING BY SYSTEM MANUFACTURER AS QUALIFIED TO INSTALL SYSTEM.

ALL ATTACHMENTS MADE THROUGH EIFS SHALL BE BRUSHED TO PREVENT DAMAGE TO THE FINISH PER ARCHITECTURAL DRAWINGS.

ALL PENETRATIONS THROUGH EIFS SHALL BE SEALED AS RECOMMENDED BY MANUFACTURER.

ALL HORIZONTAL REVEALS MUST HAVE A MINIMUM SLOPE OF 1:2.

MAINTAIN MINIMUM INSULATION THICKNESS OF 3/4" AT REVEALS.

EIFS SHALL TERMINATE MINIMUM OF 6" ABOVE GRADE.

PROVIDE INDEPENDENT THIRD PARTY INSPECTIONS AND SPECIAL INSPECTIONS OF EIFS SYSTEM AND WATER-RESISTIVE BARRIER PER IBC SECTION 1705.15 AND AS DIRECTED BY LOCAL AUTHORITY HAVING JURISDICTION.

E.I.F.S. NOTES

TITLE

T1.0 TITLE SHEET

SITE

SP101 SITE PLAN
SP501 DRIVE THRU EQUIPMENT SITE DETAILS
SP502 SITE DETAILS

STRUCTURAL

S0.0 GENERAL NOTES
S1.0 EXISTING FOUNDATION PLAN
S2.0 EXISTING ROOF FRAMING PLAN
S3.0 STRUCTURAL DETAILS (FOUNDATION)

DEMOLITION

D1.0 DEMOLITION FLOOR PLAN
D2.0 DEMOLITION REFLECTED CEILING PLAN
D3.0 DEMOLITION EXTERIOR ELEVATIONS

ARCHITECTURAL

G4.0 SIGNAGE PLAN
G4.1 SIGNAGE DETAILS
A1.0 FLOOR PLAN
A2.0 EQUIPMENT AND SEATING PLAN
A2.1 EQUIPMENT SCHEDULE
A4.0 EXTERIOR ELEVATIONS
A4.1 EXTERIOR SECTIONS
A5.0 WALL SECTION
A5.1 WALL SECTION - DETAILS
A6.1 CONSTRUCTION DETAILS DOOR/WINDOW
A6.3 FINISH DETAILS
A6.4 CONSTRUCTION DETAILS INTERIOR
A7.0 FLOOR FINISH PLAN
A7.1 REFLECTED CEILING PLAN
A7.2 FINISH SCHEDULE & FINISH NOTES
A8.0 INTERIOR ELEVATIONS DINING ROOM
A8.1 INTERIOR ELEV. ENLARGED RESTROOMS & OFFICE PLAN
A8.2 INTERIOR ELEVATIONS KITCHEN
A8.3 INTERIOR ELEVATIONS KITCHEN

ACCESSIBILITY

ADA1.0 ACCESSIBILITY REQUIREMENTS

MECHANICAL

M1.0 MECHANICAL SCHEDULES AND NOTES
M2.0 DUCT AND DIFFUSER FLOOR PLAN
M2.1 MECHANICAL ROOF PLAN
M2.2 MECHANICAL DEMO ROOF PLAN
M3.0 HOOD DRAWINGS PLANS AND SECTIONS
M4.0 MECHANICAL AND HOOD DETAILS
M4.1 MECHANICAL AND HOOD DETAILS

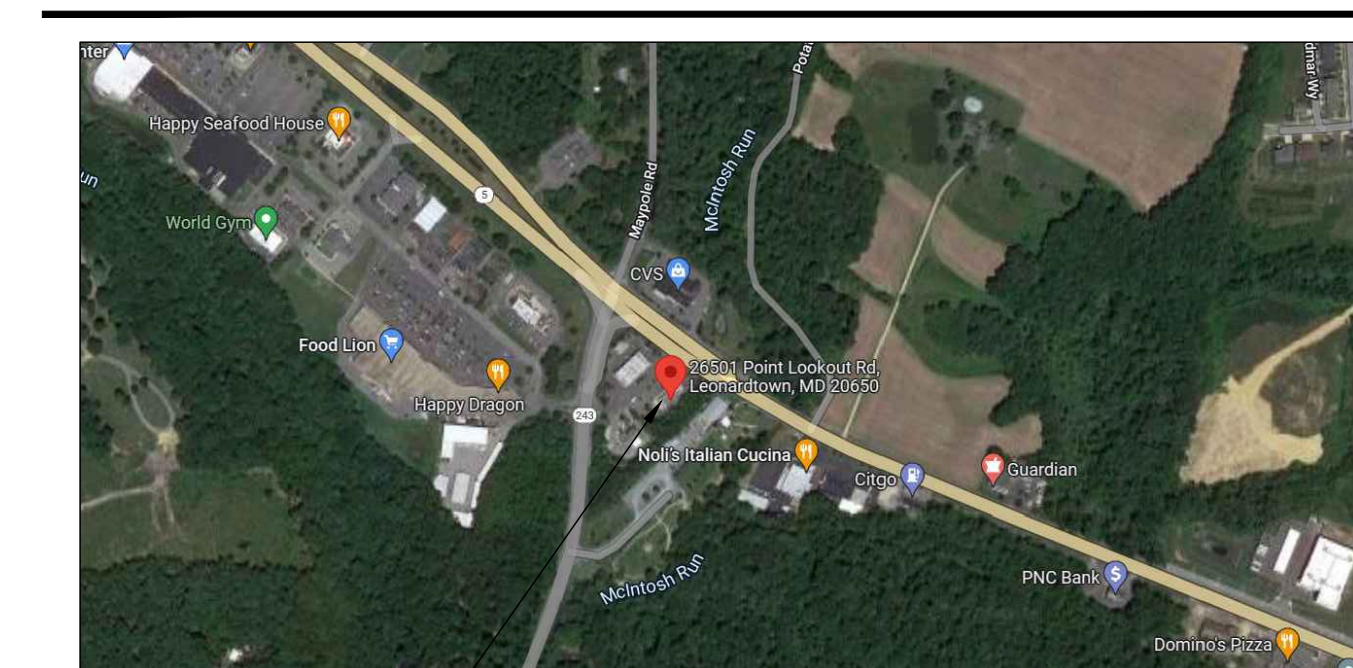
PLUMBING

P1.0 PLUMBING SCHEDULES AND NOTES
P2.0 PLUMBING WASTE FLOOR PLAN
P3.0 PLUMBING WATER & GAS FLOOR PLAN
P4.0 PLUMBING ROUGH-IN FLOOR PLAN
P5.0 RISER DIAGRAMS
P6.0 PLUMBING DETAILS

ELECTRICAL

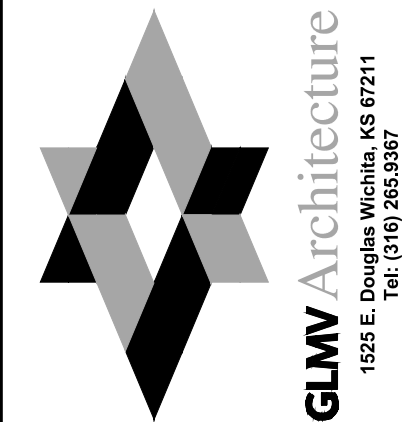
E2.0 RISER DIAGRAM AND LEGEND
E2.1 PANEL SCHEDULES AND LOAD SUMMARY
E2.2 KITCHEN EQUIPMENT SCHEDULES
E3.0 POWER FLOOR PLAN
E3.1 ENLARGED POWER PLAN AND DETAILS
E3.2 POWER ROOF PLAN
E4.0 LIGHTING PLAN AND SCHEDULE
E5.0 COMMUNICATIONS PLAN
E6.0 LIGHTING CONTROL DETAILS - TBCCB
E6.1 LIGHTING CONTROL DETAILS - TBCCB
E7.0 ELECTRICAL DETAILS
E7.1 ELECTRICAL DETAILS

SHEET INDEX



SITE

VICINITY MAP

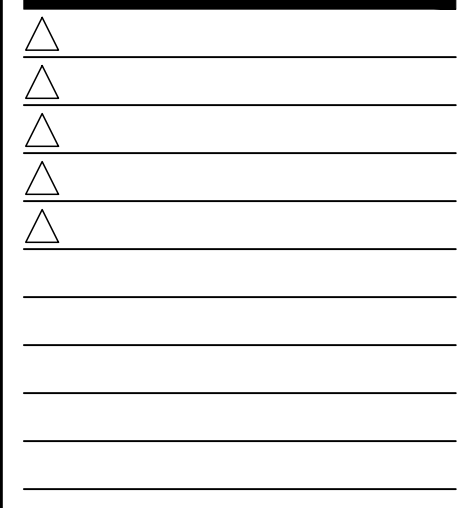


GLM Architecture
1656 E. Douglas Wichita, KS 67211
Tel: (316) 265-9367
www.glm.com



PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20906 EXPIRATION DATE 10.21.2023

22772R22011



CONTRACT DATE: 03.23.2023

BUILDING TYPE: TYPE-M

PLAN VERSION: -

BRAND DESIGNER: XXXXX

SITE NUMBER: XXXXX

STORE NUMBER: 39978

TACO BELL

26045 POINT LOOKOUT RD
LEONARDTOWN, MD



SUCCESSOR
PROTOTYPE

TITLE SHEET

T1.0