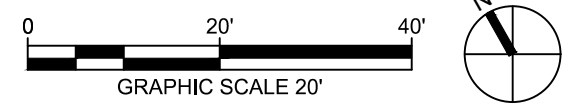


**A SITE PLAN**  
1" = 20'-0"

LEGEND	
	APPROXIMATE LIMITS OF DEMOLITION AREA
	APPROXIMATE LIMITS OF NEW 4 INCH CONCRETE SIDEWALK
	APPROXIMATE LIMITS OF NEW ASPHALT PAVEMENT



GC SHALL FIELD VERIFY GRADES COMPLY WITH ADA NOTES/SP101. CONTACT ARCHITECT FOR FURTHER DESIGN IF NON-COMPLIANT

NEW ACCESSIBLE SYMBOL. RE:4/SP502

NEW ACCESSIBLE AISLE. RE:13/SP502

NEW ACCESSIBLE SYMBOL. RE:4/SP502

**SITE INFORMATION**

PARCEL NUMBER: 1903063119  
 ADDRESS: 26501 POINT LOOKOUT ROAD, LEONARDTOWN, MD  
 COUNTY: ST. MARY'S COUNTY  
 ACRES: 1.28  
 ZONING: CH - HIGHWAY COMMERCIAL DISTRICT  
 LAND USE: FAST FOOD

EXISTING PARKING: 27 STALLS INCLUDING 2 ACCESSIBLE PARKING STALLS  
 REQUIRED PARKING: 26, INCLUDING 2 ACCESSIBLE  
 PARKING REQUIREMENT: 13 PER 1,000 SQ. FT.; PLUS QUEUE SPACE FOR 5 CARS OF DRIVE-THROUGH SERVICE.  
 REQUIRED PARKING: 2,659 SF x 13 STALL PER 1,000 SF = 26  
 PROPOSED PARKING: 26 STALLS INCLUDING 2 ACCESSIBLE PARKING STALLS  
 PARKING DIMENSIONS: 18' x 9'

**SIGNAGE NOTES:**

- ALL SIGNAGE SHALL BE PERMITTED UNDER SEPARATE SIGN PERMIT BY SIGN VENDOR.
- GC TO PROVIDE FOUNDATION AND ROUGH-IN ELECTRICAL AS NOTED.

**KEYNOTES**

- REFACE EXISTING COMBINED BRAND IMAGE MONUMENT SIGN WITH NEW TACO BELL SINGLE BRAND IMAGE. RELAMP CABINET WITH LED LIGHTING. PAINT CABINET BLACK. EXISTING MASONRY SHALL REMAIN. COORDINATE WITH SIGN VENDOR.
- REMOVE EXISTING MENUBOARD AND SPEAKER POST. COORDINATE REMOVAL WITH OWNER AND SIGNAGE VENDOR.
- INSTALL NEW SPEAKER POST, DRIVE THRU CANOPY, AND DIGITAL DRIVE THRU MENU BOARD. PROVIDE NEW FOOTING/FOUNDATION, DATA, AND LOOP DETECTOR. COORDINATE INSTALLATION WITH SIGN VENDOR. RE: 1, 2, 3, 8, & 9/SP501 & ELECTRICAL DRAWINGS.
- REMOVE EXISTING CLEARANCE BAR. REUSE EXISTING FOOTING FOR NEW CLEARANCE BAR IF POSSIBLE. INSTALL NEW BRAND CLEARANCE BAR. COORDINATE REMOVAL OF EXISTING AND INSTALLATION OF NEW WITH SIGN VENDOR. RE: 4, 5, & 6/SP501.
- POWERWASH EXISTING DUMPSTER ENCLOSURE AND CONCRETE APRON. PAINT EXISTING GATES, GATE POSTS AND HARDWARE, AND DROP RODS BRAINSTORM BRONZE (SW7033).
- EXISTING LED SITE LIGHTS SHALL REMAIN.
- RESEAL AND RE-STRIPE PARKING LOT TO MATCH EXISTING LAYOUT. RE: 4, 9, & 13/SP502
- SCRAPE, PRIME, AND PAINT EXISTING BOLLARDS D.O.T. SAFETY YELLOW.
- REMOVE EXISTING CONCRETE RAMP IN ACCESSIBLE PATH OF TRAVEL. INFILL WITH NEW ASPHALT TO MATCH ADJACENT ELEVATION AND SECTION PROFILE. PROVIDE NEW CURB AND GUTTER. RE:7/SP502
- REFACE EXISTING DIRECTIONAL SIGN WITH NEW TACO BELL BRAND IMAGE. RELAMP WITH LED LIGHTING. PAINT CABINET AND POLE BLACK. COORDINATE WITH SIGN VENDOR.

**SITE PLAN NOTES**

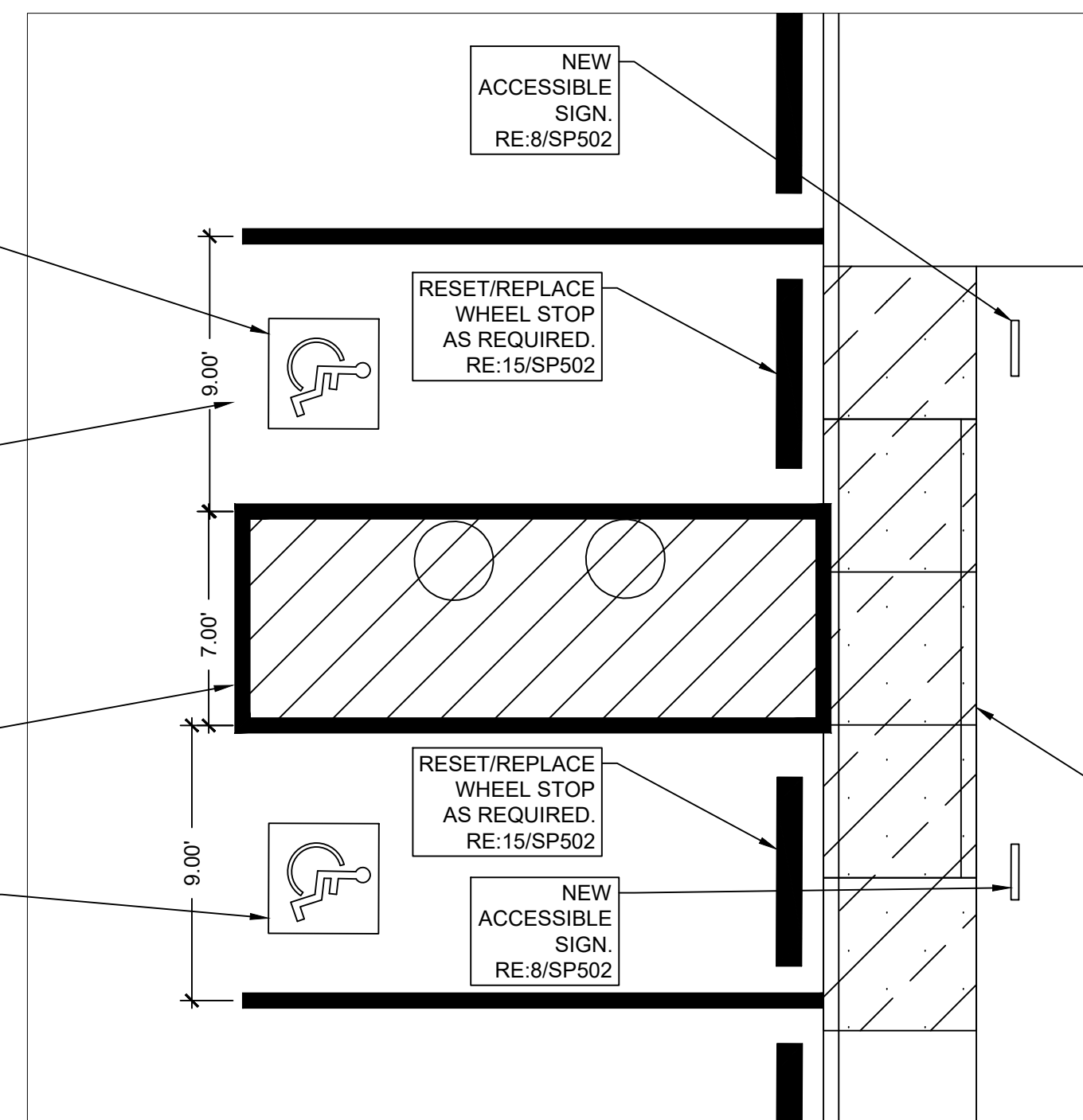
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- CONTRACTOR SHALL CONTACT DIG SAFE PRIOR TO ANY EXCAVATION/DIGGING.
- NO SURVEY INFORMATION HAS BEEN PROVIDED. EXISTING CONDITIONS HAVE BEEN COMPILED BY FIELD OBSERVATIONS AND AERIAL PHOTOGRAPHY. ALL EXISTING CONDITIONS, DIMENSIONS, AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- REPAIR ALL LANDSCAPING DISTURBED BY CONSTRUCTION ACTIVITIES.
- MODIFY EXISTING IRRIGATION SYSTEM TO PROPERLY WATER ANY REVISED OR ADDED LANDSCAPE AREAS.

**ADA NOTES:**

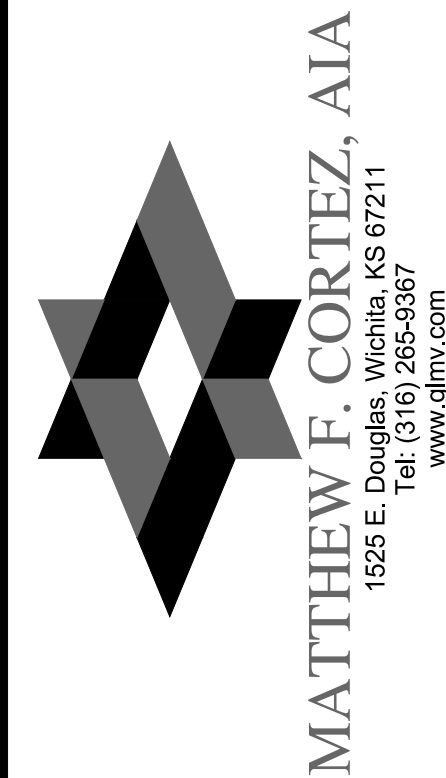
- ANY AND ALL NEW SITE FEATURES SHOWN ON PLANS AND NOTED AS "ADA" SHALL BE BUILT IN COMPLIANCE TO CURRENT FEDERAL, STATE AND LOCAL ACCESSIBILITY RULES AND REGULATIONS. THE G.C. SHALL BE RESPONSIBLE TO KNOW AND UNDERSTAND ALL CURRENT ACCESSIBILITY REGULATIONS AS THEY PERTAIN TO THE CONSTRUCTION OF ACCESSIBLE SITE FEATURES.
- ALL NEW CONCRETE SIDEWALK PAVEMENT SHALL BE INSTALLED WITH A MAX. 5% RUNNING SLOPE AND A MAX. 2% CROSS SLOPE. ALL NEW CONCRETE SToops INSTALLED AT EXISTING DOORWAYS WILL BE INSTALLED FLUSH WITH THE BUILDING F.F.E. AND WITH A 1.5% SLOPE AWAY FROM DOORWAYS. A MIN. 5'x5' STOOP WITH 1.5% SLOPES SHALL BE INSTALLED AT DOORS.
- SURFACES OF ALL NEW ACCESSIBLE PAVED PATHWAYS SHALL BE SMOOTH AND EVEN WITH NO ABRUPT CHANGES IN ELEVATION OF 1/4" OR GREATER AS REQUIRED BY THE ACCESSIBILITY DESIGN REGULATIONS.

**DEMOLITION NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, UNDERGROUND STORAGE TANKS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY AS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BMP'S) AS APPROVED BY CONSTRUCTION MANAGER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING FACILITIES. PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO ANY DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES MUST BE INSTALLED.
- ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.



**B ACCESSIBLE PARKING**  
1" = 5'-0"



PROFESSIONAL CERTIFICATION:  
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20906, EXPIRATION DATE 10.21.2023

22772R22011

CONTRACT DATE: 03.23.2023  
 BUILDING TYPE: TYPE-M  
 PLAN VERSION: -  
 BRAND DESIGNER: XXXXX  
 SITE NUMBER: XXXXX  
 STORE NUMBER: 39978

TACO BELL

26045 POINT LOOKOUT RD  
 LEONARDTOWN, MD

SUCCESSOR  
 PROTOTYPE

SITE  
 PLAN  
**SP101**